

TOWNSHIP OF McNAB/BRAESIDE COMMITTEE OF ADJUSTMENT AGENDA

**Wednesday, April 30, 2025
Township Municipal Office
2473 Russett Drive**

1. Call to open hearing.
2. Minutes of the previous hearing, January 30, 2025.
3. Declaration of a Pecuniary Interest (Money/Financial).
4. **Consideration of Application No. A-1/25 – 3:00 p.m.**
Part of Lot 13, Concession 6 - 822 Flat Rapids Road
Owners: Scott McGuire and JoAnne McGuire
 - (a) Purpose of the Application
 - (b) Confirmation of Dates
 - (c) Confirmation of Notice
 - (d) Reading of Written Comments
 - (e) Overview of Planning Report
 - (f) Discussion and Public Participation
5. Decision by Committee for Application No. A-1/25, or call for a further hearing if required.
6. Appeal Rights
7. **Consideration of Application No. A-2/25 – starting immediately after A-1/25**
Part Lot 16, Concession 4 - 130 Lorlei Drive
Owner: Johannes Ziebarth
Agent: Jenny Pearce, Highland Creek Design
 - (a) Purpose of the Application
 - (b) Confirmation of Dates

- (c) Confirmation of Notice
 - (d) Reading of Written Comments
 - (e) Overview of Planning Report
 - (f) Discussion and Public Participation
-
- 8. Decision by Committee for Application No. A-2/25, or call for a further hearing if required.
 - 9. Appeal Rights
 - 10. Other Business
 - 11. Adjournment

A-2/25

TWP. of McNAB/BRAESIDE

APR 15 2025

RECEIVED FRONT COUNTER

Johannes & Sacha Ziebarth

130 Lorlei Drive

White Lake, Ontario, K0A 3L0

(613)327-8020

johannesz@zec.ca

April 14, 2025

The Committee of Adjustment

Township of McNab-Braeside

2474 Russett Drive,

Arnprior, Ontario K7S3G8

Re: Minor Variance Application – Request for Additional Height for Accessory Garage Building

Property Address: 130 Lorlei Drive, White Lake, ON K0A 3L0

Dear Members of the Committee,

I am submitting this letter in support of my application for a minor variance to permit an increase of 1.7 metres (5feet six inches) in the maximum allowable height for an accessory garage building on my property. The purpose of the proposed structure is to provide parking and a secure, loft storage area above the main floor of the garage.

The additional height is necessary to accommodate the structural requirements and headroom needed for effective storage use within the loft space. The loft will be accessible by a staircase in the garage and will provide approximately 128 sq/meters of storage space. The garage will have an electrical connection provided from the main house but will not have any water or septic connections and it is intended strictly for non-habitable storage and parking, in full compliance with Section 3.3.2 of the Zoning By-law.

In support of the application, I would like to address the four tests for a minor variance:

1. Conformity with the General Intent and Purpose of the Official Plan:

The proposed garage supports the residential function of the property and maintains the character of the surrounding area. The structure is intended for personal use and does not alter the residential nature of the lot or surrounding properties.

2. Conformity with the General Intent and Purpose of the Zoning By-law:

The zoning by-law permits accessory structures such as garages. While the height

exceeds the current maximum allowance, the use remains compliant in all other respects and does not introduce any habitable space or commercial use.

3. Desirability for the Appropriate Development or Use of the Land:

The garage and loft storage will enhance the utility of the property and provide much-needed storage space and secure parking. The design is consistent with accessory buildings commonly found in the area and will be constructed with aesthetics and neighborhood compatibility in mind.

4. Minor Nature of the Variance:

The requested 1.7m height increase is modest in scope and will not result in negative impacts such as shadowing, privacy issues, or overdevelopment. The variance is a practical solution to allow functional use of the interior space without affecting adjacent properties.

I respectfully request the Committee's consideration and approval of this minor variance application. Thank you for your time and attention.

Sincerely,

A handwritten signature in cursive script, appearing to read 'J. Ziebarth'.

Johannes Ziebarth

A handwritten signature in cursive script, appearing to read 'Sacha Ziebarth'.

Sacha Ziebarth

Johannes & Sacha Ziebarth

130 Lorlei Drive

White Lake, Ontario, K0A 3L0

(613)327-8020

johannesz@zec.ca

April 16, 2025

Township of McNab-Braeside

c/o Christina Mulcahey – Administrative Assistant

2474 Russett Drive,

Arnprior, Ontario K7S3G8

Subject: Authorization of Agent – Minor Variance Application No. A-2/25

Owner: Johannes & Sacha Ziebarth

Property Address: 130 Lorlei Drive, White Lake, ON K0A 3L0

Dear Ms. Mulcahey,

We are the registered owners of the property legally described as 130 Lorlei Drive (Concession 4, Lot 16, Registered Plan 49R-8153), located in the Township of McNab/Braeside. We are writing to advise you of a change in our representation for our Minor Variance application, File No. A-2/25.

Due to scheduling and logistical reasons, we are unable to attend the Township Committee of Adjustment hearing scheduled for April 30, 2025. Therefore, we wish to authorize a representative to act on our behalf in all matters pertaining to this application, including appearing before the Committee.

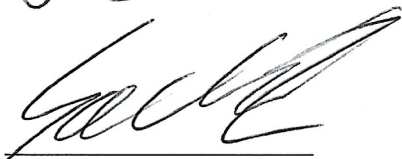
We, Johannes and Sacha Ziebarth, hereby authorize **Jenny Pierce**, Owner| Architectural Designer Tech at **Hyland Creek Design**, to act as our agent for the purposes of this application and the hearing scheduled on April 30, 2025, before the Committee of Adjustment. Ms. Pierce is fully authorized to answer questions, provide clarification, and represent our interests in connection with Minor Variance Application No. A-2/25.

Thank you for your attention to this matter. Please do not hesitate to contact us should you require any additional information or confirmation.

Sincerely,



Johannes Ziebarth



Sacha Ziebarth

CORPORATION OF THE TOWNSHIP OF McNAB/BRAESIDE
2473 Russett Drive, Arnprior, Ontario K7S 3G8

Application for Minor Variance

Note: The "*" identifies prescribed information outlined in Ontario Regulation 200/96

PART I **GENERAL INFORMATION**

1. APPLICANT/OWNER INFORMATION

- a) *Applicant's Name(s): Sacha and Johannes Ziebarth
*Address: 5992 Prince of Wales Drive Ottawa, ON K0A 2E0.
*Phone #: Home () Work () Cell 613-229-1169
E-mail: sachaz@zec.ca
- b) *The applicant is: the registered owner ☒ an agent authorized by the owner ☐
- c) If the applicant is an agent authorized by the owner, please complete the following:
*Name of Owner: _____
*Address of Owner: _____
*Phone #: Home () Work () Cell () _____
- d) To whom should correspondence be sent? Owner ☒ Applicant ☐ Both ☐

2. *PROVIDE A DESCRIPTION OF THE SUBJECT LAND:

Street Address: 130 Lorlei Drive

Concession: 4 Lot: 16
Registered Plan No.: 49R- 8153 Block or Lot No(s). in the Plan: _____
Reference Plan No.: 24-2197K Part No(s).: _____

3. *CURRENT DESIGNATION OF THE SUBJECT LAND IN THE OFFICIAL PLAN (IF ANY):

RU - Rural

4. *CURRENT ZONING OF THE SUBJECT LAND:

RU-E7

PART II DETAILS OF THE APPLICATION

5. ***PLEASE STATE THE NATURE AND EXTENT OF THE RELIEF FROM THE ZONING BY-LAW**
'Minor' relief to the current zoning by-law for the proposed accessory buildings current height limitation of 5meters. Seeking approval for an additional 1.7m (total 6.7m)
6. ***WHAT IS THE REASON WHY THE PROPOSED USE CANNOT COMPLY WITH THE PROVISIONS OF THE ZONING BY-LAW?**
The proposed accessory building to include a functional loft space cannot be designed for its intended use under the current zoning by-law with a maximum permitted accessory structure height (5m)
7. ***DIMENSIONS OF THE SUBJECT LAND:**
 Frontage: 30.52m Depth: 114.42m Area: .86 acres
(0.35 hectares)
8. ***PLEASE MARK BELOW THE ACCESS TO THE SUBJECT LAND:**
☐ Provincial Highway ☐ Municipal Road Maintained All Year
☒ Municipal Road Maintained Seasonally ☐ Right Of Way ☐ Water
☐ Other Public Road: _____
9. ***IF THE ONLY ACCESS IS BY WATER, PLEASE STATE BELOW THE PARKING AND DOCKING FACILITIES THAT ARE TO BE USED, AND THE DISTANCE OF THESE FACILITIES FROM THE SUBJECT LAND AND FROM THE NEAREST PUBLIC ROAD:**

10. ***WHEN WAS THE SUBJECT LAND ACQUIRED BY THE CURRENT OWNER?**
October 2003
11. ***WHAT ARE THE EXISTING USES OF THE SUBJECT LAND AND HOW LONG HAVE THEY CONTINUED?**
 #1 Residential Since: October 2004 / 21 Years
 #2 _____ Since: _____ / _____ Years
12. ***ARE THERE ANY BUILDINGS OR STRUCTURES ON THE SUBJECT LAND?**
☒ Yes ☐ No
13. ***WHAT ARE THE "PROPOSED" USES OF THE SUBJECT LAND?**
Residential

14. ***WILL ANY BUILDINGS OR STRUCTURES BE BUILT ON THE SUBJECT LAND?**
☐ Yes ☐ No

15. ***PROVIDE THE FOLLOWING DETAILS FOR ALL EXISTING OR PROPOSED BUILDINGS OR STRUCTURES ON THE SUBJECT LAND:** (use a separate page if necessary)

	EXISTING			PROPOSED	
Type of building or structure	dwelling	shed no.1	Neighbours shed no.2	Accessory Building	
Setback from the front lot line	77.54m	69.62m	N/A not on property	38.96m 5.96m	
Setback from the rear lot line	11.73m	29.76m 0m+	N/A not on property	60.90m 61.03m	
Setbacks from the side lot lines	EAST 4.57m WEST 6.55m	encroachment Exceeds current setback 3.0m	encroaches onto property	EAST 16.73m WEST 3.0m	
Height (in metres)	+/- 10m	+/- 2.4m	+/- 2.4m	6.7m	
Dimensions or floor area	132.38sq.m	8.91sq.m	19.50sq.m 7.89sq.m	148.64sq.m	
Date constructed	May 2004	Sept 2004	Sept 2004		

Sept 2022

16. ***INDICATE HOW WATER IS SUPPLIED AND HOW SEWAGE DISPOSAL IS PROVIDED TO THE SUBJECT LAND:**

WATER

SEWAGE

publicly owned and operated piped water system ☐ publicly owned and operated piped sanitary sewage system ☐
 privately owned and operated individual well ☒ publicly owned and operated communal septic system ☐
 privately owned and operated communal well ☐ publicly owned and operated individual septic system ☐
 lake or other water body ☐ privately owned and operated individual septic system ☒
 other means: _____ privy ☐
 Other means: _____ ☐

17. ***HOW IS STORM DRAINAGE PROVIDED?**

Sewers ☐ Ditches ☒ Swales ☐ Other Means ☐

18. ***IS THE SUBJECT LAND ALSO THE SUBJECT OF AN APPLICATION FOR APPROVAL OF A PLAN OF SUBDIVISION OR CONSENT?** Yes ☐ No ☒ Don't Know ☐

***IF YES, PLEASE STATE, IF KNOWN, THE FILE NO. AND THE STATUS OF THE APPLICATION:**

File No.: _____ Status: _____

19. ***HAS THE SUBJECT LAND EVER BEEN THE SUBJECT OF AN APPLICATION UNDER SECTION 45 OF THE PLANNING ACT? (i.e. previous minor variance application)**

Yes ☐ No ☐ Don't Know ☒



April 17, 2025

February 2022

20. APPLICATION SKETCH

On a separate page(s), please provide a sketch, preferably prepared by a qualified professional, showing the following: (In some cases, it may be more appropriate to prepare additional sketches at varying scales to better illustrate the proposal.)

- Boundaries and the dimensions of the subject land for which the amendment is being sought.
- The location, size and type of all existing and proposed buildings and structures, indicating the distances from the front yard lot line, rear yard lot line and the side yard lot lines.
- The approximate location of all natural and artificial features on the subject land and on land that is adjacent to the subject land that, in the opinion of the applicant, may affect the application. Examples include buildings, railways, roads, watercourses, drainage ditches, river or stream banks, wetlands, wooded areas, wells and septic tanks.
- The current uses on land that is adjacent to the subject land.
- The location, width, and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private road or a right of way.
- If access to the subject land is by water only, the location of the parking and docking facilities to be used.
- The location and nature of any easement affecting the subject land.
- Applicant's Name
- Date of Sketch
- The scale to which the sketch is drafted (e.g. 1 cm = 50 m)
- North Arrow
- The locations and dimensions of off-street parking spaces and off-street loading facilities
- Planting strips and landscaped areas
- Buildings to be demolished or relocated.

PART III AUTHORIZATION OF OWNER FOR AGENT TO MAKE THE APPLICATION:

(If affidavit (Part IV) is signed by an Agent on Owner's behalf, the Owner's written authorization below must be completed)

I (we) Johannes Ziebarth

of the town of Kars

in the city of Ottawa

do hereby authorize Sacha Ziebarth to act as my/our agent in this application.


Signature of Owner(s)

April 15, 2025
Date

10. DECLARATION OF FEES INCURRED

The Owner/Agent agrees to reimburse and indemnify the Township of McNab/Braeside of all fees and expenses incurred by the Township of McNab/Braeside to process the application, including any fees and expenses attributed to proceeding before the Local Planning Appeal Tribunal or any court or other administrative tribunal if necessary to defend Council's decision to support the application.

The Owner/Agent also agrees to deposit with the Township of McNab/Braeside such monies as required by the Township of McNab/Braeside's Tariff of Fees By-Law as amended to defend appeals brought before the LPAT by parties other than the Applicant/Agent or Township.

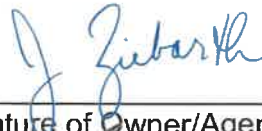
The required fee for the processing of this application shall be in accordance with the Township of McNab/Braeside's current Tariff of Fees By-Law pertaining to planning matters. The Fees prescribed do not include professional fees, (ie. legal or engineering) or extra public meetings. Prior to undertaking any of these matters the applicant agrees to reimburse the Municipality for all charges related to the application. Fees required for the processing of this application are required at the time of submission. The amount of the required fees should be confirmed with the Township prior to the submission of the application.

April 14 2025

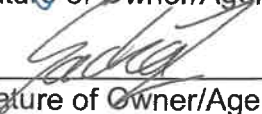
Date

April 14, 2025

Date



Signature of Owner/Agent



Signature of Owner/Agent

PART IV ***AFFIDAVIT:** (This affidavit must be signed in the presence of a Commissioner)

I (we) Sacha Zieborth
of the Town of Kars
in the City of Ottawa

solemnly declare that all of the information required under Ontario Regulation 200/96, and the statements contained in this application are true, and I, (we), make this solemn declaration conscientiously believing it to be true, and knowing that it is of the same force and effect as if made under oath and by virtue of the **CANADA EVIDENCE ACT**.

DECLARED before me at the Township of McNab/Braeside
in the County of Renfrew this 15 day of April, 2025

[Signature]
Signature of Owner or Authorized Agent

April 15, 2025
Date

[Signature]
Signature of Commissioner
Christina Catherine Mulcahey, a Commissioner, etc., Province of Ontario, for the Corporation of the Township of McNab/Braeside. Expires July 31, 2027.

April 15, 2025
Date

NOTE: One of the purposes of the Planning Act is to provide for planning processes that are open, accessible, timely and efficient. Accordingly, all written submissions, documents, correspondence, e-mails or other communications (including your name and address) form part of the public record and will be disclosed/made available by the Township to such persons as the Township sees fit, including anyone requesting such information. Accordingly, in providing any such information, you shall be deemed to have consented to its use and disclosure as part of the planning process.

(To be completed by the Municipality)

"COMPLETE" APPLICATION AND FEE OF \$ 1300 + 3000 RECEIVED BY THE
MUNICIPALITY: Deposit.

April 15, 2025
Date

[Signature]
Signature of Municipal Employee

Roll Number



SCALE 1/32" = 1'-0"

HYLAND CREEK DESIGN&BUILD LTD. WILL NOT BE HELD RESPONSIBLE FOR ANY MISINTERPRETATION OR BAD COMPREHENSION OF PLANS INCLUDING OR LIMITED TO INFORMATION PROVIDED WITHIN THE PRELIMINARY DRAFT SITE PLAN BY CLIENT OR BUILDER.





NOVEMBER 21 2024



ZONING BYLAW #210-49
(consolidated June 27 2023)

MIN. FRONT YARD SETBACK: 24.60' (

MIN. INTERIOR SIDE YARD: 09.84' (3.0m)
MIN. REAR SIDE YARD: 24.60' (7.5m)
MAX. LOT COVERAGE: 33%

 NEW ACCESSORY BUILDING
 NEW LOFT AREA
 EXISTING BUILDING(S)
 PROPERTY LINE
 LINE OF SETBACKS
 'MAN DOOR' ACCESS

FINAL CONSTRUCTION PLANS AND PERMIT PLANS MAY BE ALTERED TO REPRESENT THE BUILDING CODE REQUIREMENTS AND EXISTING SITE CONDITIONS.

	ISSUED FOR PERMIT	01.29.25
NO.	DESCRIPTION	MM/DD/YY

PROPOSED DETACHED GARAGE
130 LORIEL DRIVE

OWNER JOHANNES & SACHA ZIEBARTH

PRELIMINARY
DRAFT SITE PLAN

JP	A
SCALE	
AS INDICATED	
DATE	
11.26.2024	

AC



(Items by P.Eng)

- GENERAL NOTES
- DO NOT SCALE DRAWINGS.
 - ALL EXISTING + NEW DIMENSIONS ARE SHOWN AT APPROXIMATE. CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND NOTIFY THE DESIGNER OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE THE COMMENCEMENT OF WORK.
 - ALL WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALED MEASUREMENTS.
 - FRAMING DIMENSIONS ARE MEASURED FROM OUTSIDE OF STUD(S) TO OUTSIDE OF STUD(S).
 - ALL WINDOWS AND DOORS ARE DIMENSIONED TO THE CENTERLINE OF THE ROUGH SIZE OPENINGS. CONTRACTOR TO VERIFY THE RSO WITH MANUFACTURERS SPECIFICATIONS.
 - ALL CONSTRUCTION PRACTICES, MATERIAL SYSTEMS AND APPLICATIONS MUST MEET THE REQUIREMENTS AND CONFORM TO THE ONTARIO BUILDING CODE 2012 (LATEST ADDITION)
 - ALL WORKMANSHIP IS TO BE OF A STANDARD EQUAL IN ALL RESPECTS OF GOOD PRACTICE.
 - THESE PLANS ARE DRAWN TO COMPLY WITH THE OWNER(S) SPECIFICATIONS AND ANY CHANGES MADE TO THEM AFTER PRINTS AND PERMIT ARE ISSUED ARE AT THE OWNERS EXPENSE AND RESPONSIBILITY.
 - OWNER IS RESPONSIBLE FOR OBTAINING ROOF AND/OR FLOOR JOIST LAYOUTS.
 - OWNER TO SUPPLY SITE PLAN IDENTIFYING THE PROPOSED LOCATION OF HOUSE, SEPTIC AND WELL LOCATION, LOT AND LEGAL DESCRIPTION, NORTH DIRECTION + MAIN S T R E E T S .
 - OWNER/BUILDER TO BE RESPONSIBLE FOR CONDITIONS SUCH AS SOIL BEARING CAPACITY, DEPTH OF FROST PENETRATION, WATER TABLE + DRAINAGE, LOCATION OF SERVICES etc..
 - ANY VARIANCES FROM THE DRAWINGS AND SPECIFICATIONS OR FROM CONDITIONS ENCOUNTERED A THE JOB SITE, SHALL BE RESOLVED BY OWNER/BUILDER AND SUCH SOLUTIONS SHALL BE THEIR SOLE RESPONSIBILITY AND ARE TO BE SUBMITTED TO THE MUNICIPALITY FOR APPROVAL.
 - HYLAND CREEK DESIGN&BUILD LTD. WILL NOT BE HELD RESPONSIBLE FOR ANY MISINTERPRETATION OR BAD COMPREHENSION OF PLANS BY CLIENT OR BUILDER.
 - PERMIT DRAWINGS ARE DESIGN CONCEPT ONLY. HOMEOWNER OR BUILDER SHALL CONFIRM ALL EXISTING CONDITIONS AND COORDINATE DRAWINGS AS PER FINDINGS BEFORE THE COMMENCEMENT OF BUILDING.

FINAL CONSTRUCTION PLANS AND PERMIT PLANS MAY BE ALTERED TO REPRESENT THE BUILDING CODE REQUIREMENTS AND EXISTING SITE CONDITION

PROPOSED AREA OF WORK		
DETACHED GARAGE:	1600ft ² (148.64m ²)	
LOFT:	1217ft ² (113.06m ²)	

REVISIONS		
R1	STRUCTURAL BEAMS	03.16.25
	ISSUED FOR PERMIT	01.29.25
NO.	DESCRIPTION	MM/DD/YY

PROJECT	
PROPOSED DETACHED GARAGE 130 LORLEI DRIVE	
LOT 16 CON.4	TOWNSHIP OF McAB/BRAESIDE
OWNER	JOHANNES & SACHA ZIEBARTH

DRAWING	
FOUNDATION PLAN	

DRAWN BY JP	A1
SCALE AS INDICATED	
DATE 01.10.2025	

R1

LEGEND

- LINE OF CONCRETE
- PLI POINT LOAD ABOVE

FOUNDATION SPECIFICATIONS

- FA THICKENED EDGE CONCRETE SLAB
AS PER P.ENGINEER SPECIFICATIONS

BOTTOM PLATES OF EXTERIOR WALLS SHALL BE ANCHORED TO FOUNDATION AS PER OBC 9.21.6.1

NOTE: PROVIDE 4"Ø PERIMETER DRAINAGE WITH FILTER CLOTH

NOTE: 9.25.3.3
WHERE GRAVITY DRAINAGE IS NOT PRACTICAL, A COVERED SUMP PUMP WITH AN AUTOMATIC PUMP SHALL BE INSTALLED TO DISCHARGE WATER INTO SEWER, DRAINAGE DITCH OR DRY WELL SEALED.

LINE OF FROST PROTECTION
2"HI-40 INSULATION EXTENDING
MIN. 4'-0" (TYPICAL)

CONCRETE PAD FOOTINGS
60X60X14" C/W #15M BOTH WAYS
(BY P.ENG)

COORDINATE WITH STRUCTURAL
DRAWINGS FOR THICKENED EDGE SLAB
DATED FEBRUARY 10 2025

GARAGE SLAB

THICKENED EDGE CONCRETE SLAB
AS PER P.ENG SPECIFICATIONS

REFER TO DRAWINGS DATED FEBRUARY 10 2025

1 FOUNDATION PLAN

SCALE 1/4" = 1'-0"



(Items by P.Eng)

GENERAL NOTES

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- ALL WINDOWS AND DOORS ARE DIMENSIONED TO THE CENTERLINE OF THE ROUGH SIZE OPENINGS. CONTRACTOR TO VERIFY THE RSO WITH MANUFACTURERS SPECIFICATIONS.
- ALL CONSTRUCTION PRACTICES, MATERIAL SYSTEMS AND APPLICATIONS MUST MEET THE REQUIREMENTS AND CONFORM TO THE ONTARIO BUILDING CODE 2012 (LATEST ADDITION)
- ALL WORKMANSHIP IS TO BE OF A STANDARD EQUAL IN ALL RESPECTS OF GOOD PRACTICE.
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- OWNER IS RESPONSIBLE FOR OBTAINING ROOF AND/OR FLOOR JOIST LAYOUTS.
- OWNER TO SUPPLY SITE PLAN IDENTIFYING THE PROPOSED LOCATION OF HOUSE, SEPTIC AND WELL LOCATION, LOT AND LEGAL DESCRIPTION, NORTH DIRECTION + MAIN S T R E E T S .
- OWNER/BUILDER TO BE RESPONSIBLE FOR CONDITIONS SUCH AS SOIL BEARING CAPACITY, DEPTH OF FROST PENETRATION, WATER TABLE + DRAINAGE, LOCATION OF SERVICES etc..
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FINAL CONSTRUCTION PLANS AND PERMIT PLANS MAY BE ALTERED TO REPRESENT THE BUILDING CODE REQUIREMENTS AND EXISTING SITE CONDITION

PROPOSED AREA OF WORK	
DETACHED GARAGE:	1600ft ² (148.64m ²)
LOFT:	1217ft ² (113.06m ²)

REVISIONS		
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	ISSUED FOR PERMIT	01.29.25
NO.	DESCRIPTION	MM/DD/YY

PROJECT
PROPOSED DETACHED GARAGE
130 LORLEI DRIVE
LOT 16 CON.4 TOWNSHIP OF McNAB/BRAESIDE
OWNER JOHANNES & SACHA ZIEBARTH

DRAWING
LOFT PLAN

DRAWN BY
JP
SCALE
AS INDICATED
DATE
01.10.2025

A3

R1

LEGEND

- EXTERIOR WALL
INTERIOR PARTITION/KNEE WALL
LINE ABOVE
AFF ABOVE FINISHED FLOOR
CH CEILING HEIGHT

CONSTRUCTION NOTES:

- FRAMING LUMBER SHALL BE NUMBER TWO (2) OR BETTER UNLESS OTHERWISE SPECIFIED.
- CARRY ALL POINT LOADS TO FOUNDATION AND FOOTINGS.
- ROOF AND FLOOR LAYOUT(S) ARE A SCHEMATIC DESIGN ONLY TO ASSIST THE TRUSS AND CONTRACTOR TO REFER TO THE MANUFACTURER SPECIFICATIONS.
- OWNER/BUILDER ARE TO OBTAIN SHOP DRAWINGS FROM THE MANUFACTURER FOR THE ROOF TRUSS SPECIFICATIONS AND LAYOUTS INCLUDING P.ENG FLOOR JOIST(S).
- ROOF JOIST SPANS OF MORE THAN 7'0" SHALL BE BRIDGED AT MIDSPAN OR AT 7'-0" O.C MAXIMUM UNLESS SHEATHING OR STRAPPED BOTH SIDES WITH WOOD.
- BRIDGING SHALL BE 2x2" DIAGONAL TYPE WHEREVER POSSIBLE.
- ALL ROOFING SHALL BE APPLIED ACCORDING TO THE MANUFACTURERS RECOMMENDATIONS AND SHALL CONFORM TO THE ONTARIO BUILDING CODES (LATEST ADDITION).
- PROVIDE FLASHING AT ANY MATERIAL CHANGES ON EXTERIOR WALL AND AT ROOF JUNCTIONS. PROVIDE MIN. 3" EAVE PROTECTION UNLESS NOTED OTHERWISE .PROVIDE FLASHING OVER DOORS & WINDOWS.
- ALL REQUIRED FLASHING TO BE OF 28 GAUGE GALVANIZED METAL UNLESS OTHERWISE SPECIFIED.
- MEMBER FASTENING AS PER TABLE 9.23.3.4 OF THE ONTARIO BUILDING CODE (LATEST EDITION)

EXTERIOR DOOR SCHEDULE

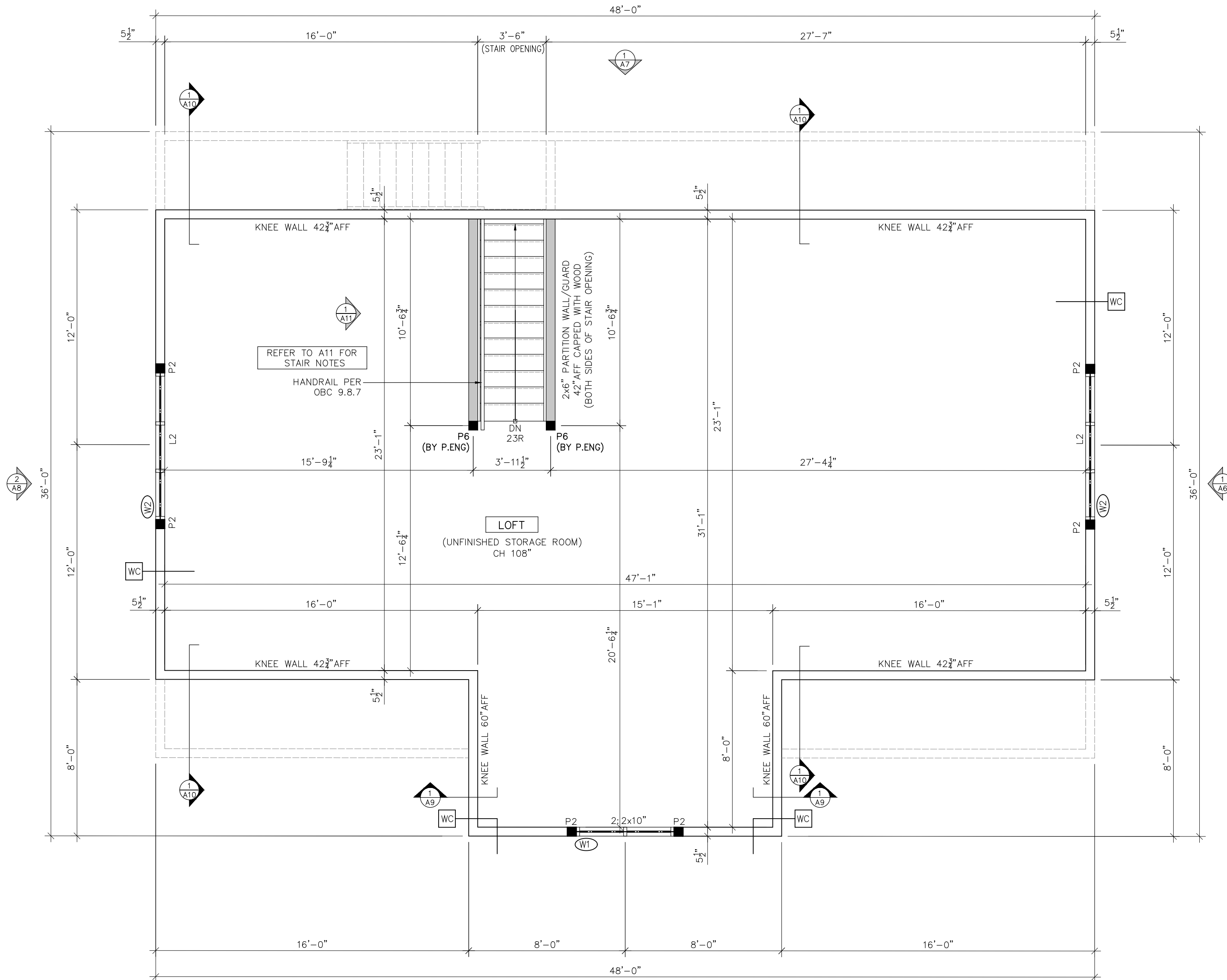
(WxH)	DESCRIPTION/COMMENTS	QTY
D1 120x120"	OVERHEAD-INSULATED	3
D2 36x82"	METAL-INSULATED LHO	1
D3 36x82"	METAL-INSULATED RHO	1

NOTE:
ALL DOORS ARE NOMINAL SIZE – CONTRACTOR TO VERIFY ALL ROUGH SIZE OPENINGS (RSO) WITH DOOR+WINDOW MANUFACTURERS.
ALL INTERIOR DOORS NOT DIMENSIONED IN PLAN SHALL BE LOCATED WITHIN THE CENTER (C) OF THE PARTITION WALL WITH EQUAL SPACING ON EITHER SIDE.

WINDOW SCHEDULE

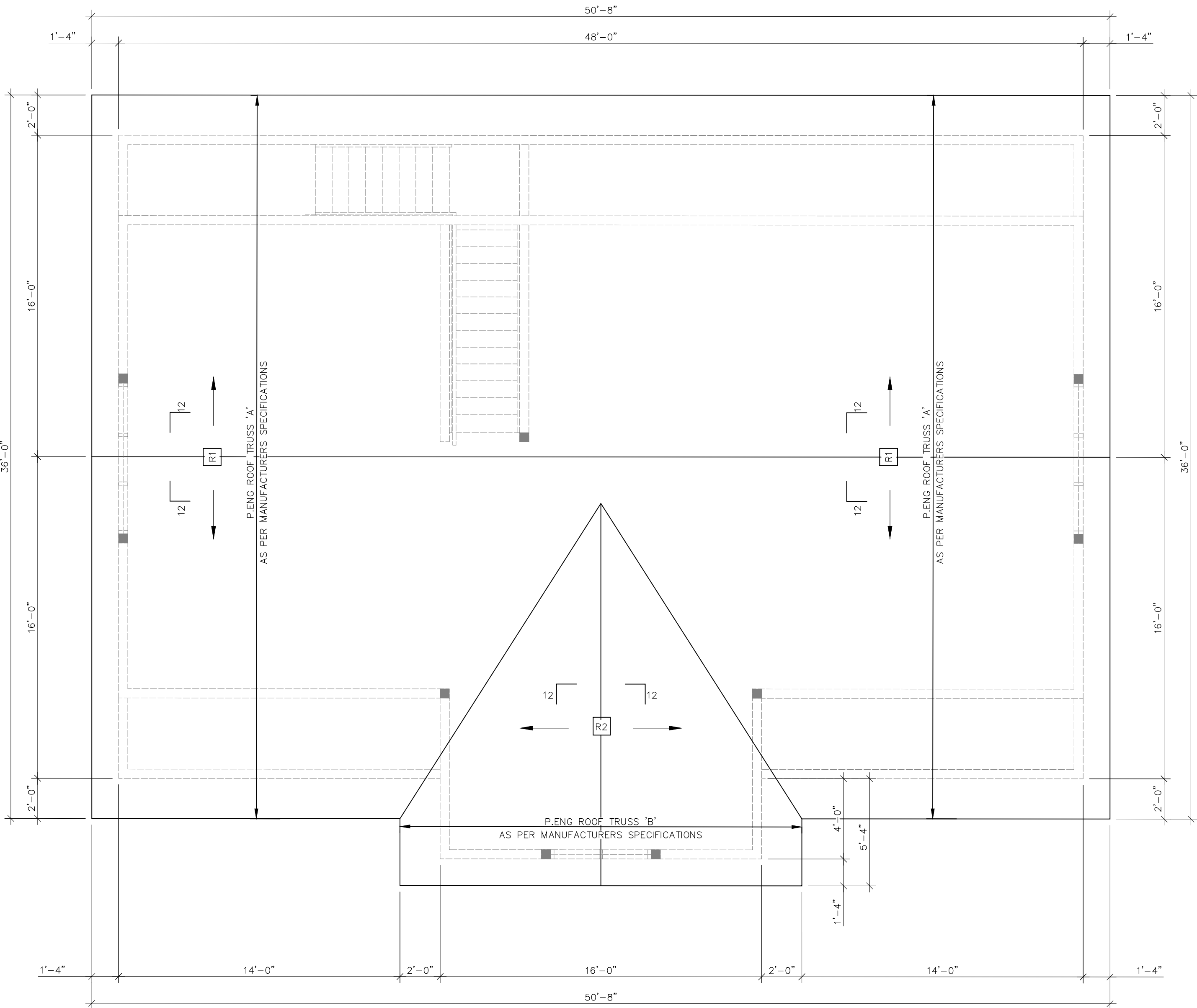
(WxH)	DESCRIPTION/COMMENTS	QTY
W1 60x60"	SLIDING WINDOW	4
W2 90x60"	CASEMENT WINDOW	2

ALL WINDOWS ARE NOMINAL SIZE – CONTRACTOR TO VERIFY ALL ROUGH SIZE OPENINGS (RSO) WITH DOOR+WINDOW MANUFACTURERS. COORDINATE WITH CLIENT STYLE AND FINISH.



1 A3 LOFT PLAN

SCALE 1/4" = 1'-0"



1
A4

ROOF PLAN

SCALE 1/4" = 1'-0"

ROOF VENTILATION:

THE UNOBSTRUCTED VENT AREA SHALL NOT BE LESS THAN 1/300 OF THE INSULATED CEILING AREA WHERE THE ROOF SLOPE IS LESS THAT 1 IN 6 OR IF THE ROOF IS CONSTRUCTED WITH ROOF JOISTS THE UNOBSTRUCTED VENT AREA SHALL NOT BE LESS THAN 1/150 OF THE INSULATED CEILING AREA REQUIRED VENTS SHALL BE UNIFORMLY DISTRIBUTED ON OPPOSITE SIDE OF THE BUILDING W/ NOT LESS THAT 25% OF THE REQUIRED OPENINGS LOCATED AT THE TOP OF THE SPACE AND NOT LESS THAN 25% OF THE REQUIRED OPENINGS LOCATED AT THE BOTTOM OF THE SPACE.

ROOF LAYOUT IS A SCHEMATIC-DESIGN CONCEPT ONLY TO ASSIST THE TRUSS MANUFACTURER. CONTRACTOR TO REFER TO THE MANUFACTURER SPECIFICATIONS AND DETAILS.

ROOF SPECIFICATIONS

R1

GALVANIZED METAL ROOF C/W DRIP EDGE
ICE+WATER SHIELD THROUGHOUT
3/4" OSB SHEATHING C/W H-CLIPS
PRE.ENG ROOF TRUSS 'A'
REFER TO MANUFACTURERS SPECIFICATIONS

R2

GALVANIZED METAL ROOF C/W DRIP EDGE
ICE+WATER SHIELD THROUGHOUT
3/4" OSB SHEATHING C/W H-CLIPS
PRE.ENG ROOF TRUSS 'B'
REFER TO MANUFACTURERS SPECIFICATIONS

HYLAND CREEK
DESIGN & BUILD LTD.

inquiry@hcdesignbuild.ca 613.857.2841

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PROPOSED AREA OF WORK

DETACHED GARAGE: 1600ft² (148.64m²)
LOFT: 1217ft² (113.06m²)

REVISIONS

NO.	DESCRIPTION	MM/DD/YY
R1	STRUCTURAL BEAMS	03.16.25
	ISSUED FOR PERMIT	01.29.25

PROJECT

PROPOSED DETACHED GARAGE
130 LORLEI DRIVE

LOT 16 CON.4 TOWNSHIP OF McNAB/BRAESIDE

OWNER JOHANNES & SACHA ZIEBARTH

DRAWING

ROOF PLAN

DRAWN BY

JP

SCALE
AS INDICATED

DATE
01.10.2025

A4

R1

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130 LORLEI DRIVE

LOT 16 CON.4 TOWNSHIP OF McNAB/BRAESIDE

OWNER JOHANNES & SACHA ZIEBARTH

DRAWING

SOUTH ELEVATION 'A'

DRAWN BY

JP

SCALE

AS INDICATED

DATE

01.10.2025

A5

R1

1 SOUTH ELEVATION 'A'

SCALE 1/4" = 1'-0"

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130 LORLEI DRIVE

LOT 16 CON.4 TOWNSHIP OF McNAB/BRAESIDE

OWNER
JOHANNES & SACHA ZIEBARTH

DRAWING

EAST ELEVATION 'B'

DRAWN BY

JP

SCALE

AS INDICATED

DATE

01.10.2025

A6

R1



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130 LORLEI DRIVE

LOT 16 CON.4 TOWNSHIP OF McNAB/BRAESIDE

OWNER
JOHANNES & SACHA ZIEBARTH

DRAWING

NORTH ELEVATION 'C'

DRAWN BY

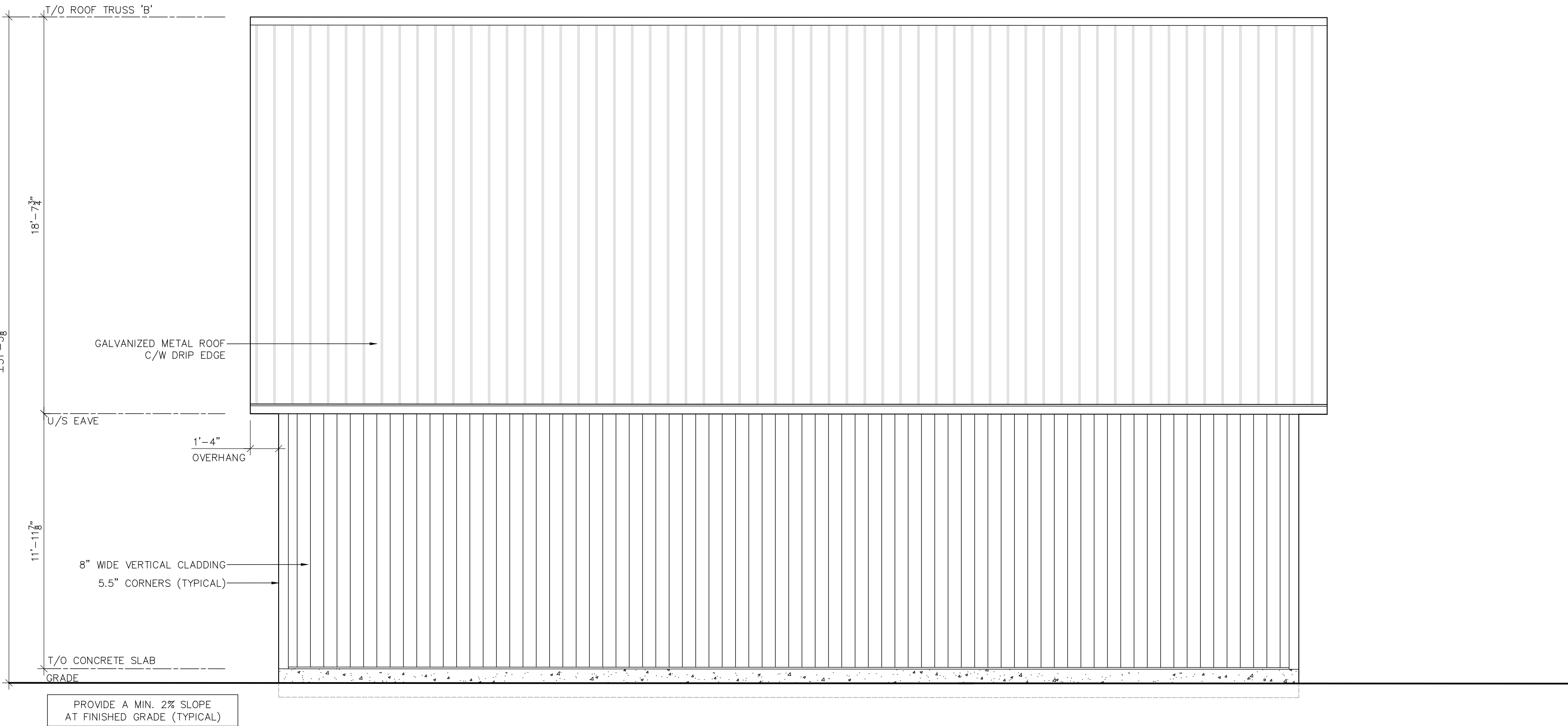
JP

SCALE
AS INDICATED

DATE
01.10.2025

A7

R1



1
A7

NORTH ELEVATION 'C'

SCALE 1/4" = 1'-0"

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130 LORLEI DRIVE

LOT 16 CON.4 TOWNSHIP OF McNAB/BRAESIDE

OWNER
JOHANNES & SACHA ZIEBARTH

DRAWING

WEST ELEVATION 'D'

DRAWN BY

JP

SCALE

AS INDICATED

DATE

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A8

R1



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130 LORLEI DRIVE

LOT 16 CON.4 TOWNSHIP OF McNAB/BRAESIDE

OWNER JOHANNES & SACHA ZIEBARTH

DRAWING

BUILDING SECTION X-X

DRAWN BY

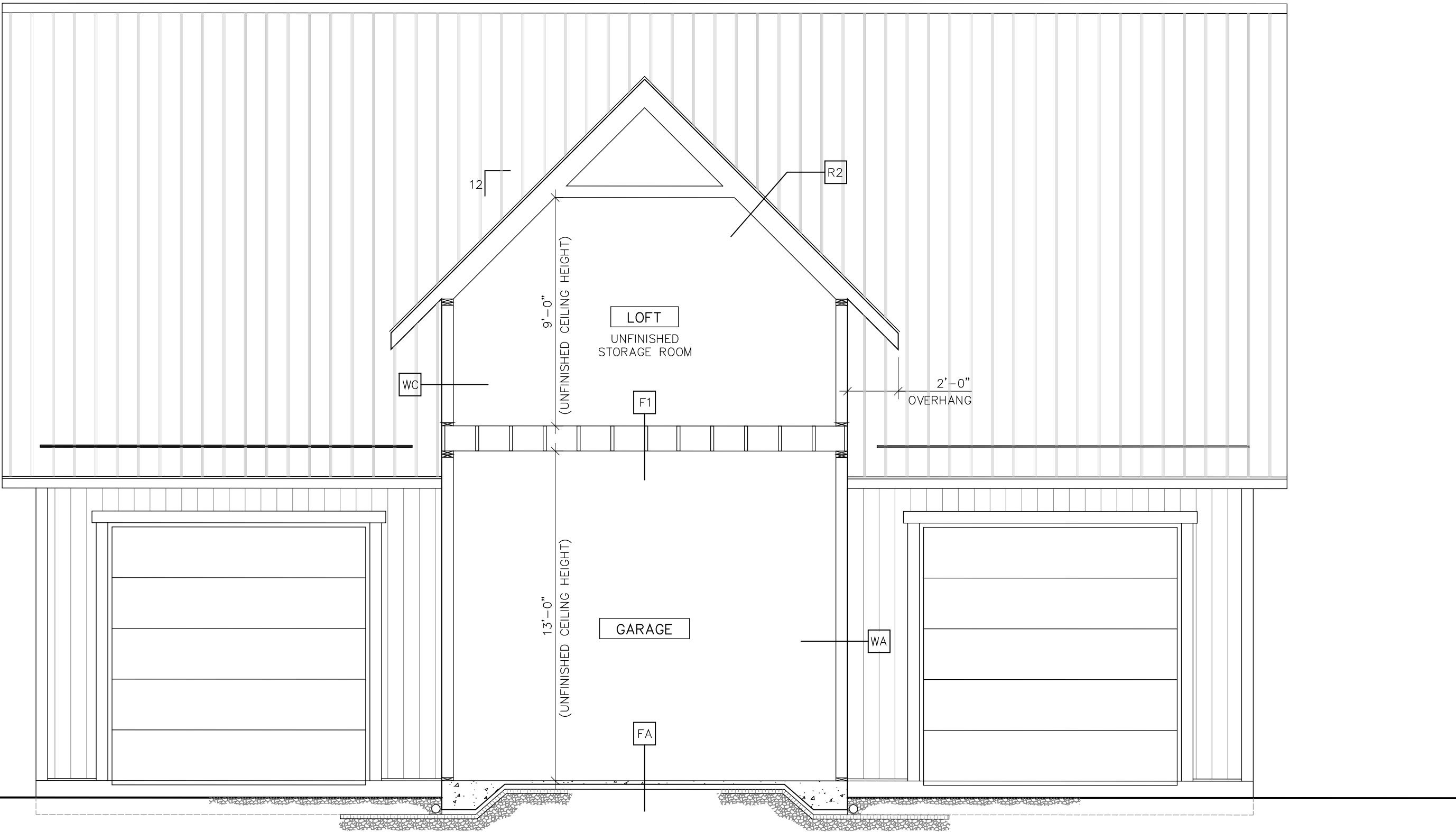
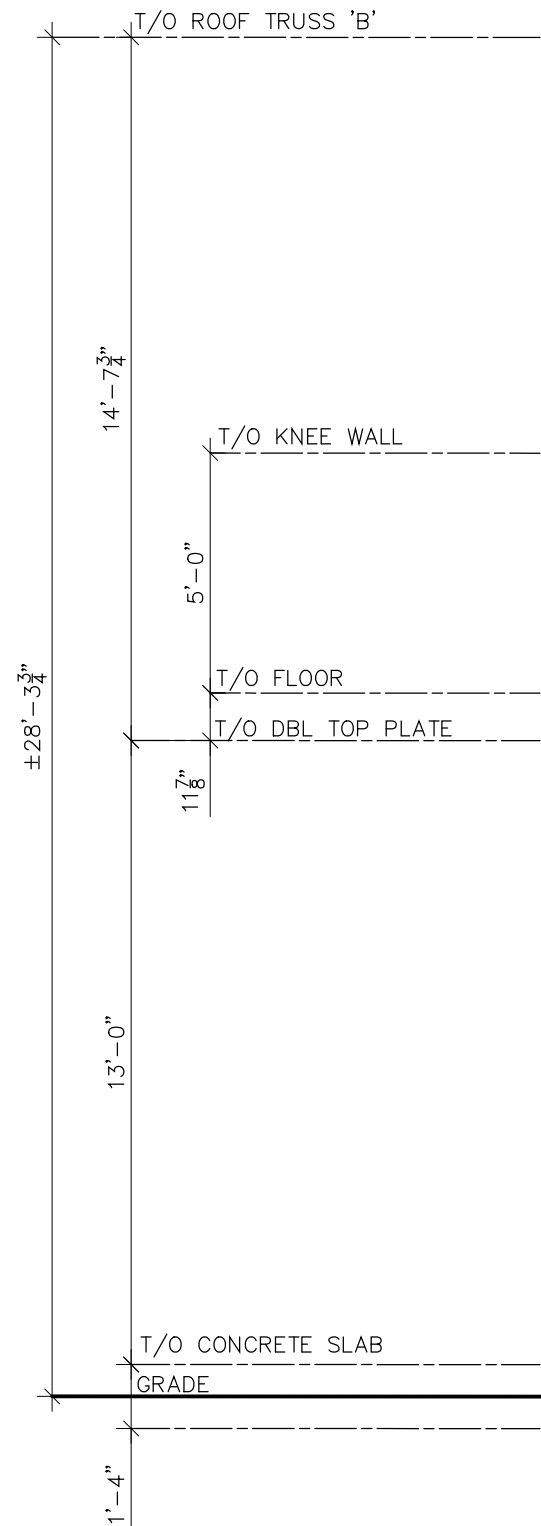
JP

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A9

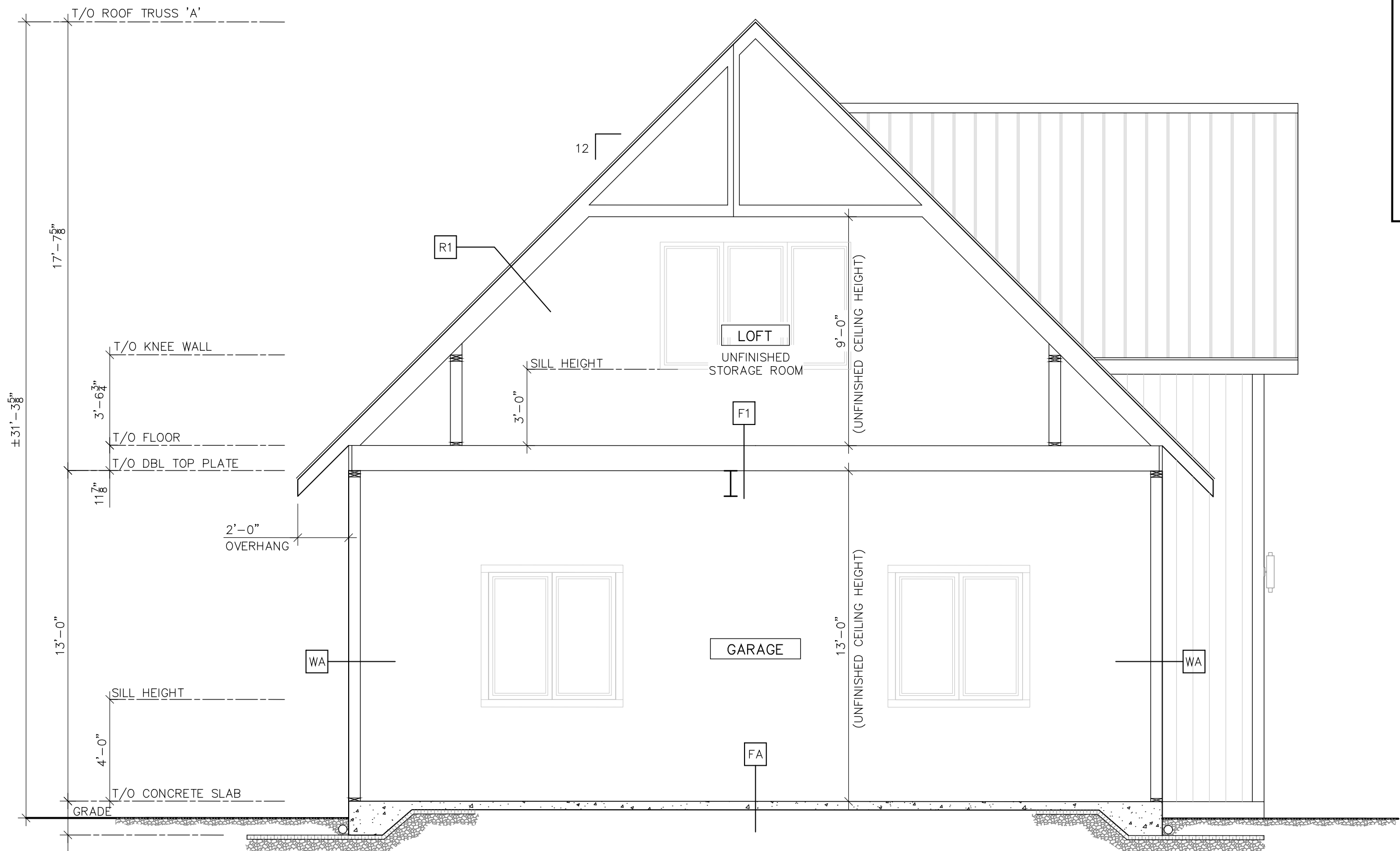
R1



1
A9

BUILDING SECTION X-X

SCALE 1/4" = 1'-0"



1
A10 BUILDING SECTION Y-Y SCALE 1/4" = 1'-0"

FOUNDATION SPECIFICATIONS

FA THICKENED EDGE CONCRETE SLAB
AS PER P.ENGINEER SPECIFICATIONS

FLOOR SPECIFICATIONS

F1 5/8" T&G SUBFLOOR
1 1/8" FLOOR JOISTS
AS PER MANUFACTURERS SPECIFICATION

WALL SPECIFICATIONS

WA EXTERIOR SIDING FINISH
1x3" STRAPPING
AIR BARRIER
7/16" OSB SHEATHING
2x6"WOOD STUDS @16"OC

WB 1/2" GYPSUM
2x4 STUDS @ 16"O/C
1/2" GYPSUM

WC EXTERIOR SIDING FINISH
1x3" STRAPPING
AIR BARRIER
7/16" OSB SHEATHING
ATTIC TRUSS

ROOF SPECIFICATIONS

R1 GALVANIZED METAL ROOF C/W DRIP EDGE
ICE+WATER SHIELD THROUGHOUT
1/2" OSB SHEATHING C/W H-CLIPS
PRE.ENG ROOF TRUSS 'A'
REFER TO MANUFACTURERS SPECIFICATIONS

R2 GALVANIZED METAL ROOF C/W DRIP EDGE
ICE+WATER SHIELD THROUGHOUT
1/2" OSB SHEATHING C/W H-CLIPS
PRE.ENG ROOF TRUSS 'B'
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HYLAND CREEK

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130 LORLEI DRIVE

LOT 16 CON.4 TOWNSHIP OF McNAB/BRAESIDE

OWNER JOHANNES & SACHA ZIEBARTH

DRAWING

BUILDING SECTION Y-Y

DRAWN BY

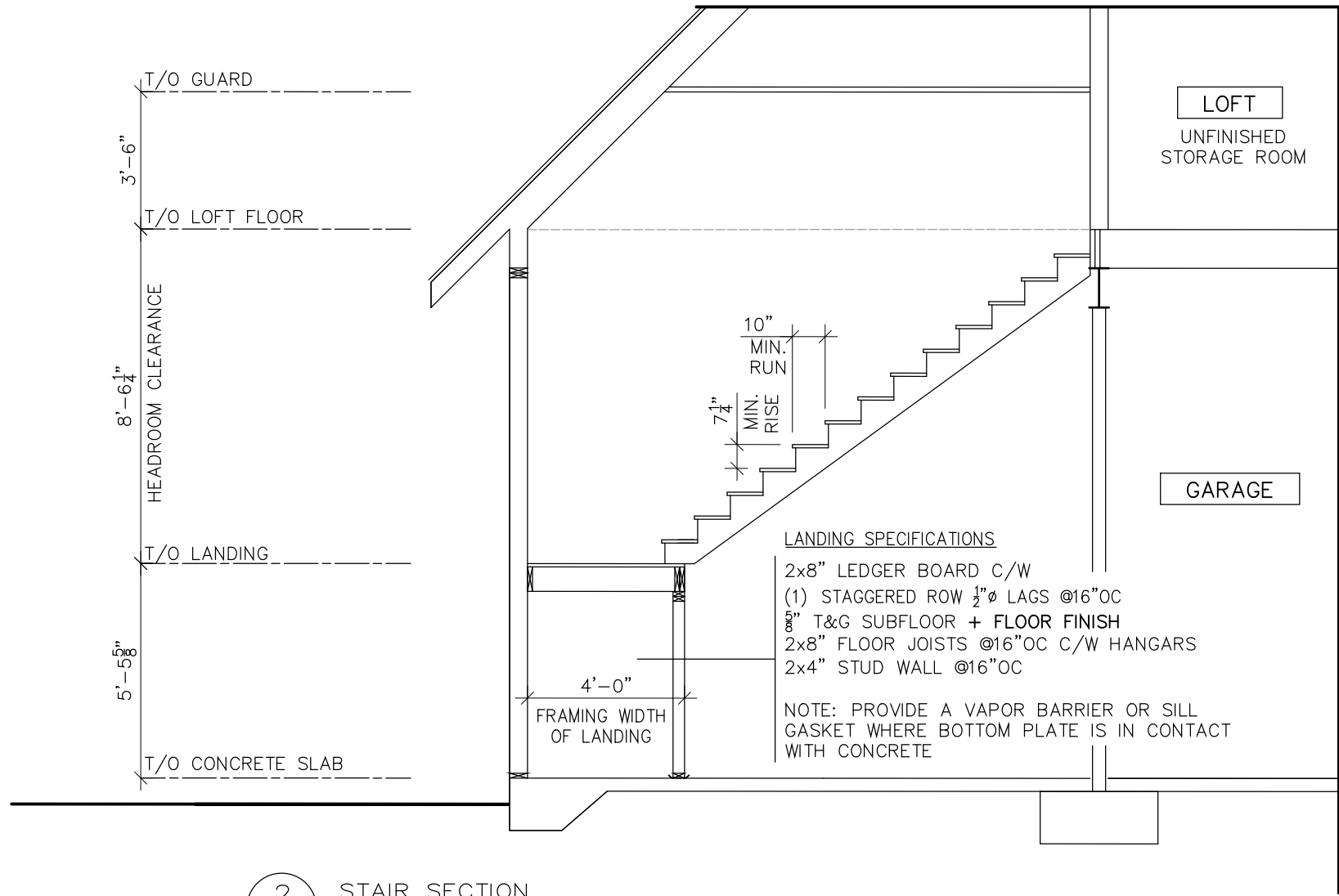
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A10

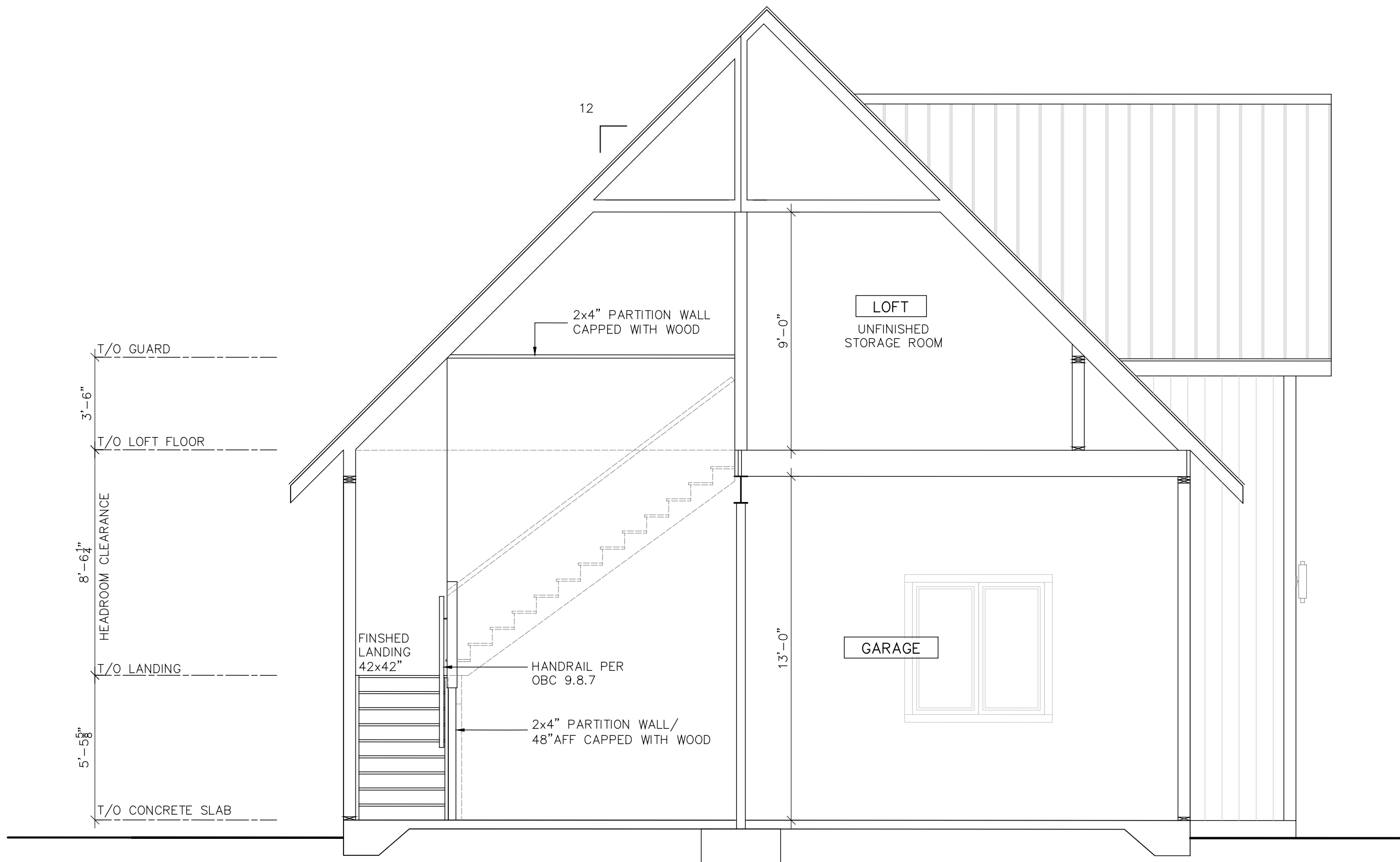
R1



2
A11

STAIR SECTION

SCALE 1/4" = 1'-0"



1
A11

STAIR ELEVATION

SCALE 1/4" = 1'-0"

TYPICAL STAIR NOTE

ALL STAIRS MUST COMPLY WITH SECTION 9.8 OF THE ONTARIO BUILDING CODE LATEST EDITION.

MAXIMUM RISE 7 7/8"
MINIMUM RISE 4 1/2"

MAXIMUM RUN 14"
MINIMUM RUN 10"

MINIMUM STRINGER 2x10" SPACED MAX. 2'-11" APART

EXTERIOR STAIRS SHALL BE PROVIDED WITH A HINGED CONNECTION BETWEEN FIXED STRUCTURE TO ENSURE THERE IS NO DAMAGE TO THE STRUCTURE DURING THE FROST/THAW CYCLE

HANDRAILS + GUARDS AS PER OBC 9.8.7 + 9.8.8

ALL GUARDRAILS MUST COMPLY WITH SB-7 THE ONTARIO BUILDING CODE. LATEST EDITION.

A GUARDRAIL SHALL BE PROVIDED WHERE A DIFFERENCE IN ELEVATION FROM TOP OF WALKING SURFACE TO GRADE EXCEEDS 23 1/2"

WHERE THE ELEVATION IS LESS THAN 5'-11" PROVIDE A GUARD 35"HIGH

WHERE THE ELEVATION EXCEEDS 5'-11" PROVIDE A GUARD 42"HIGH.

SPINDLES TO HAVE NO MORE THAN 4" SPACE BETWEEN WHEN USED AS A GUARD.

HANDRAIL HEIGHT SHALL NOT BE LESS THAN 2'-7" AND NOT MORE THAN 3'-6"

HYLAND CREEK

DESIGN & BUILD LTD.

inquiry@hcdesignbuild.ca 613.857.2841

GENERAL NOTES

1. DO NOT SCALE DRAWINGS.

2. ALL EXISTING + NEW DIMENSIONS ARE SHOWN AT APPROXIMATE. CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND NOTIFY THE DESIGNER OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE THE COMMENCEMENT OF WORK.

3. ALL WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALED MEASUREMENTS.

4. FRAMING DIMENSIONS ARE MEASURED FROM OUTSIDE OF STUD(S) TO OUTSIDE OF STUD(S).

5. ALL WINDOWS AND DOORS ARE DIMENSIONED TO THE CENTERLINE OF THE ROUGH SIZE OPENINGS. CONTRACTOR TO VERIFY THE RSO WITH MANUFACTURERS SPECIFICATIONS.

4. ALL CONSTRUCTION PRACTICES, MATERIAL SYSTEMS AND APPLICATIONS MUST MEET THE REQUIREMENTS AND CONFORM TO THE ONTARIO BUILDING CODE 2012 (LATEST ADDITION)

5. ALL WORKMANSHIP IS TO BE OF A STANDARD EQUAL IN ALL RESPECTS OF GOOD PRACTICE.

6. THESE PLANS ARE DRAWN TO COMPLY WITH THE OWNER(S) SPECIFICATIONS AND ANY CHANGES MADE TO THEM AFTER PRINTS AND PERMIT ARE ISSUED ARE AT THE OWNERS EXPENSE AND RESPONSIBILITY.

7. OWNER IS RESPONSIBLE FOR OBTAINING ROOF AND/OR FLOOR JOIST LAYOUTS.

8. OWNER TO SUPPLY SITE PLAN IDENTIFYING THE PROPOSED LOCATION OF HOUSE, SEPTIC AND WELL LOCATION, LOT AND LEGAL DESCRIPTION, NORTH DIRECTION + MAIN STREET.

9. OWNER/BUILDER TO BE RESPONSIBLE FOR CONDITIONS SUCH AS SOIL BEARING CAPACITY, DEPTH OF FROST PENETRATION, WATER TABLE + DRAINAGE, LOCATION OF SERVICES etc..

10. ANY VARIANCES FROM THE DRAWINGS AND SPECIFICATIONS OR FROM CONDITIONS ENCOUNTERED AT THE JOB SITE, SHALL BE RESOLVED BY OWNER/BUILDER AND SUCH SOLUTIONS SHALL BE THEIR SOLE RESPONSIBILITY AND ARE TO BE SUBMITTED TO THE MUNICIPALITY FOR APPROVAL.

11. HYLAND CREEK DESIGN&BUILD LTD. WILL NOT BE HELD RESPONSIBLE FOR ANY MISINTERPRETATION OR BAD COMPREHENSION OF PLANS BY CLIENT OR BUILDER.

12. PERMIT DRAWINGS ARE DESIGN CONCEPT ONLY. HOMEOWNER OR BUILDER SHALL CONFIRM ALL EXISTING CONDITIONS AND COORDINATE DRAWINGS AS PER FINDINGS BEFORE THE COMMENCEMENT OF BUILDING.

FINAL CONSTRUCTION PLANS AND PERMIT PLANS MAY BE ALTERED TO REPRESENT THE BUILDING CODE REQUIREMENTS AND EXISTING SITE CONDITION

PROPOSED AREA OF WORK

DETACHED GARAGE: 1600ft² (148.64m²)
LOFT: 1217ft² (113.06m²)

REVISIONS		
R1	STRUCTURAL BEAMS	03.16.25
	ISSUED FOR PERMIT	01.29.25
NO.	DESCRIPTION	MM/DD/YY

PROJECT

PROPOSED DETACHED GARAGE
130 LORLEI DRIVE

LOT 16 CON.4 TOWNSHIP OF McNAB/BRAESIDE

OWNER JOHANNES & SACHA ZIEBARTH

DRAWING

STAIR SECTION + ELEVATION

DRAWN BY

JP

SCALE
AS INDICATED

DATE
01.10.2025

A11

R1



**TOWNSHIP OF McNAB/BRAESIDE
COMMITTEE OF ADJUSTMENT**

McNab/Braeside NOTICE OF HEARING AND REQUEST FOR COMMENTS

To: CAO/Clerk

Date: April 16, 2025

Place: McNab/Braeside Municipal Office
2473 Russett Drive, Arnprior

File: Minor Variance Application
A-2/25

Hearing Date: Wednesday, April 30, 2025

Owner/Agent: Johannes Ziebarth (Owner)
Sacha Ziebarth (Agent)

Time: 3:00 p.m.

Property Location: 130 Lorlei Drive
Part of Lot 16, Concession 4

Application A-2/25 has been received and will be heard by the Township of McNab/Braeside Committee of Adjustment on the above noted date. So that the application can be properly considered in accordance with the requirements of The Planning Act, the Committee requests that the information requested below is completed and one copy returned to the Committee.

Anne McVean, County Planner
amcvean@countyofrenfrew.on.ca

1. BUILDING DEPARTMENT COMMENTS:

No concerns for proposed garage. The existing shed encroaches into the side yard setback.

Chief Building Official

Building Inspector

2. PUBLIC WORK COMMENTS

	Yes	No	N/A
(a) Are the following services available to this land?			
Municipal Water	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Sanitary Sewers	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Electricity	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Garbage Collection	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
(b) Does the subject lot have <u>direct</u> access to a public road maintained by the Municipality?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
(c) If direct access is to a municipal public road:			
(i) Would access be obtained where a traffic hazard would be created because of limited sight lines, curves or grades?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
(ii) Is the Municipality willing to issue an entrance permit?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> EXISTING
(iii) Is road widening or dedication required?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Comments:

NO CONCERNS



Director of Public Works

3. FIRE DEPARTMENT COMMENTS:

NO CONCERNS



Fire Chief

4. COUNCIL/PLANNING ADVISORY COMMITTEE COMMENT

(a) Does Council recommend minor variance be given?

Yes

No

(i) If not, outline reasons why.

(b) Should the minor variance be granted, what conditions, if any, would Council wish to see applied?

April 22, 2025
Date

RLO
CAO/Clerk



**TOWNSHIP OF McNAB/BRAESIDE
COMMITTEE OF ADJUSTMENT**

NOTICE TO PUBLIC BODIES

TAKE NOTICE that the Committee of Adjustment of the Corporation of the Township of McNab/Braeside intends to consider an application for a **Minor Variance** to Zoning By-law No. 2010-49, as amended, of the Township of McNab/Braeside for property described as part of Lot 16, Concession 4, with the civic address 130 Lorlei Drive. A sketch and information relating to the application is contained on the attached notice.

PURSUANT to Section 45(1) of the Planning Act, you are hereby requested to submit comments related to your department or agency function, or alternatively check off the appropriate response box provided below and return a copy to the Planner by no later than **April 23, 2025**. Additional information relating to the above is available during regular office hours at the Township Office.

DATED at the Township of McNab/Braeside this 16th day of April, 2025.

AGENCY RESPONSE

We have reviewed the information provided for the Minor Variance Application, and

☒ ***have no comments or concerns.***

☐ ***provide the following comments related to our department or agency function:***

Ontario Power Generation Inc. (OPG)

Agency

Jim Tamas

Name (Print)

jim.tamas@opg.com

Email

Jim Tamas

Signature

April 17, 2025

Date

Please send your comments or responses to Anne McVean, County Planner at the County of Renfrew.
amcvean@countyofrenfrew.on.ca

MINOR VARIANCE PLANNING REPORT

PART A – BASIC INFORMATION

1. FILE NO.: A-2/25
2. APPLICANT: Johannes Ziebarth (Owner)
Jenny Pearce, Hyland Creek Design (Agent)
3. MUNICIPALITY: Township of McNab/Braeside
(geographic Township of McNab)
4. LOT: 16 CONCESSION: 4 STREET: 130 Lorlei Drive

SUBJECT LANDS

5. COUNTY OF RENFREW
OFFICIAL PLAN
Land Use Designation(s): Rural
Environmental Protection
6. TWP OF McNAB/BRAESIDE
ZONING BY-LAW 2010-49
Zone Category(s) Rural-Exception Seven (RU-E7)
Environmental Protection (EP)

7. DETAILS OF MINOR VARIANCE REQUEST

The minor variance application requests a variance to Section 3.3.6 of the Township's Zoning By-law to permit a new 148.64 square metre accessory building with an increased maximum building height from 5.0 metres (16.4 feet) to 6.70 metres (21.9 metres) on a residential lot for the purpose of parking vehicles and loft storage.

8. SITE PERFORMANCE STANDARDS

<u>Zoning By-law Standard</u>	<u>Permitted</u>	<u>Proposed</u>
Section 3.3.6	Maximum 5.0 metre accessory building height in any Residential Zone	6.70 metre accessory building height

9. **SITE CHARACTERISTICS AND SETTING**

The subject property (outlined in yellow) is located at 130 Lorlei Drive. The property is 0.35 hectares in area with road frontage on Lorlei Drive and water frontage on the Madawaska River. The lot accommodates a single detached dwelling. The application sketches indicate that there are two accessory buildings along the northeast side lot line. The smallest one is located primarily on the subject property and encroaches slightly on 124 Lorlei Drive, to the northeast. The larger "frame shed" is located primarily on 124 Lorlei drive and encroaches onto the subject lot. The proposed new accessory building on the lot is identified outlined in red, which represents the proposed building footprint.

The property is located midway between Stewartville and Burnstown, on the south side of the Madawaska River. Immediately east and west of the lot, are many long-existing rural residential waterfront lots. Beyond that to the north is the Madawaska River, and large rural properties with natural bush and wetlands. To the south are large rural properties with a mix of farmland, natural bush, as well as wetlands.



(Please note that in the images displayed on this page, there appears to be a slight shift between the property lines and the air photo, due to different information sources.)

10. **OFFICIAL PLAN**

The subject lands are designated as Rural and Environmental Protection in the County of Renfrew Official Plan.

Section 5.3(1) of the Rural designation permits low density residential, as well as a range of non-residential rural uses.

Section 8.3(1) of the Environmental Protection designation limits uses to conservation of soil and wildlife, non-intensive outdoor recreational uses, forestry dams and other water control devices, boat anchorages and moorings, etc.

Section 2.0 General Development Policies contains various general policies that may apply to a specific property and/or proposal.

Section 2.2(9)(e)(4) of the Floodplain policies identifies a one-zone approach and specific flood elevations along the Madawaska River determined with input from the Ministry of Natural Resources and Forestry, and Ontario Power Generation (OPG). Subsection ii. applies to the lands along the Madawaska River above the Stewartville dam where lands below the 146.3 metre geodetic contour may be susceptible to flooding.

Section 2.2(11) establishes policies for water setbacks and the protection of shoreline integrity. A minimum 30 metre setback is required for all buildings and structures from the high water mark of a water body.

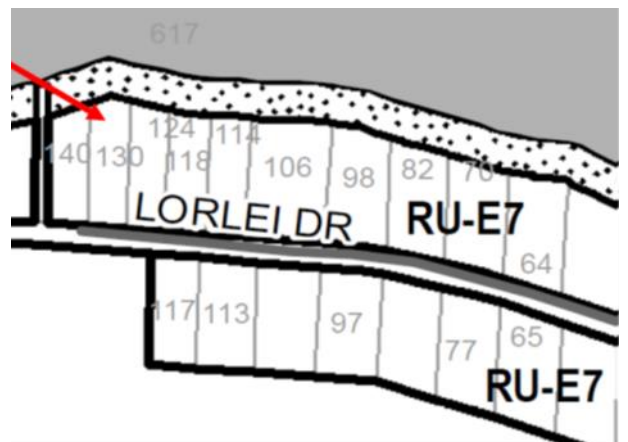
Section 13.3(3) are the local municipal road policies and any new development fronting on a municipal road must meet the road authority's requirements.



11. **ZONING BY-LAW**

The subject property is zoned Rural-Exception Seven (RU-E7). Section 17.1(a) of the RU Zone permits a single detached dwelling.

Section 17.3(2) of the Rural (RU) Zone sets out the requirements for building setbacks, maximum coverage and building heights for main permitted uses (i.e. dwelling). Section 17.2(c) requires a minimum 7.5 metre front yard setback from the lot line abutting a road. Section 17.3(o) of the RU Zone permits accessory uses, buildings and structures in accordance with Section 3 of the Zoning By-law.



Section 3.3.4 directs that no accessory building or structure shall be located within any minimum front yard depth.

Section 3.3.5 requires accessory buildings and structures to meet a minimum 3 metre setback from any lot line.

Section 3.3.6 identifies that accessory buildings in a Residential zone shall not exceed 5.0 metres in height.

Section 3.34 Secondary Dwelling Units sets out criteria for secondary/additional dwelling units. Lots 4047 square metres or less in area on private well and septic services do not qualify for these uses.

Section 2.0 Definitions defines terms found throughout the Zoning By-law. Section 2.99(c) defines Height, as it relates to buildings with a gable roof, as being the vertical distance between the average elevation of the finished surface of the ground at the front of the building and the mean height between the eaves and the ridge.

12. **STUDIES**

No studies were submitted or required in support of this application.

13. **COMMENTS**

As required by the Planning Act, all property owners within 60 metres of the subject property have been notified of the application. The applicant has also posted notice on site. Public agencies have been notified, as required

Any comments received in addition to those, below, will be provided at the Hearing.

AGENCY COMMENTS

Township of
McNab/Braeside

April 22, 2025

- Building Department has no concern with proposed garage but noted that the existing shed encroaches into the side yard.
- Public Works Department has no concerns. It confirmed the lot is serviced and has an existing entrance permit.
- Fire Department has no concerns.
- Council supports the application.

Ontario Power
Generation

April 17, 2025

- No concerns.

PUBLIC COMMENTS

- None received.

14. **GENERAL PLANNING COMMENTS**

Section 45(1) of the Planning Act provides that a Committee of Adjustment may authorise a minor variance from the provisions of the zoning by-law if the request maintains the general intent and purpose of both the Official Plan and the Zoning By-law, if the development is desirable and appropriate for the lands, building or structure and the variance is in fact minor.

The proposed accessory building is located on the portion of the subject property that is designated as Rural in the Official Plan and zoned Rural (RU) in the Zoning By-law both of which allow for buildings and structures considered normally incidental to residential uses.

This property is adjacent to the Madawaska River which is a waterbody controlled by Ontario Power Generation and therefore has water levels that fluctuate. For this part of the river, lands below the 146.3 metre geodetic contour are susceptible to flooding. Buildings and structures are also required to be a minimum of 30 metres from the high water mark of a water body. The proposed accessory building appears to be located above the 160 metre contour and in excess of 50 metres from the rear lot line of the property that abuts OPG lands. The application was circulated to OPG for review. Comments were provide and there are no concerns.

The subject property also fronts on and accesses Lorlei Drive, a local municipal road. Both the Official Plan and Zoning By-law require new development on lands adjacent to a Township road to meet the requirements of the road authority. The application was circulated to the Township's Public Works Department. Comments were provided and there are no concerns.

The proposed accessory building is required to meet the applicable requirements of the Rural (RU) Zone and the accessory building requirements of the General Provisions of the Zoning By-law. The building and site layout plans submitted with the application show the proposed location of the new accessory building on the lot and that it meets or exceeds the minimum required setbacks from the front, rear and side lot lines. For the proposed building, the only issue is height, as it exceeds the maximum permissible accessory building height of 5.0 metres, by an additional 1.7 metres.

General Intent of the Official Plan and Zoning By-law

As identified, above, the proposed accessory building is a permitted use. The lot is currently not over-developed and can easily accommodate the proposed accessory building. The proposed building location is well beyond the setback requirement from the Madawaska River and well above the floodplain elevation. Ontario Power Generation has reviewed the application and has no objections to the application. All minimum building setbacks are being met or exceeded. The proposed location of the building even with an increased building height by 1.70 metres is satisfactory.

The proposed accessory building meets the intent of the Official Plan and Zoning By-law.

Is the variance desirable?

The accessory building is proposed to serve a dual purpose for secure parking and personal storage. The additional height is being requested to accommodate the storage area and provide ease of access within the storage area. The dual purpose building negates the need for two separate buildings thereby maintaining visual aesthetics for this and neighbouring properties. The accessory building will be located next to the shared property line with 124 Lorlei Drive. The proposed placement of the shed will be visible from that neighbour's dwelling but does not crowd it, nor will it cause shadowing issues. Likewise, the proposed shed will not negatively impact the dwelling at 140 Lorlei Drive, on the south side of the subject lands. There are intervening trees that will provide a partial visual buffer. Trees in the front yard of the subject lot also buffer the view from the road. The proposed building elevations depicts an aesthetically pleasing structure that will blend with the surrounding existing residential development. For these reasons, the variance requested can be considered desirable.

Is the variance minor?

In considering this test, there is no specific number or percentage above or below which a variance is considered minor or not. The variance must be considered in terms of context. As described above, the location of the proposed building addresses all requirements of the Official Plan and Zoning By-law, except a small increase in building height. The proposed building provides practical functionality for the property owners. Likewise, the location of the building even with a building height of 6.7 metres will not negatively impact any of the surrounding properties for the reasons discussed above. Based on this, the requested variance can be considered minor.

Over all, the proposed development meets the intent of the Township's land use planning documents, is desirable and appropriate for the lands, and the variance requested can be considered minor. The requested variance meets the four tests of the Planning Act.

It must be noted, that the applicant has explicitly confirmed in the cover letter that there is no intent to use the loft area as an additional dwelling unit. As identified earlier in Section 11 of this report, this property is serviced by well and septic and is not large enough to qualify for an additional dwelling unit under Section 3.34 of the Zoning By-law.

Existing Sheds

Aside from the requested variance, but identified in the application and site plan are two existing accessory frame sheds that are problematic in terms of complying with the Township's Zoning By-law.

Shed No. 1 is owned by the applicant and is shown on the site plan as closest to the dwelling. The application lists it as 8.91 square metres in area. It is almost entirely located within the minimum 3.0 metre side yard setback, and the north corner encroaches onto the abutting property 124 Lorlei Drive. Accessory buildings and structures, even if less than the size requiring a building permit must meet the minimum required 3.0 metre setback from a side lot line. The applicant is the owner of the building and has the ability to move the structure to comply with the minimum 3.0 metre setback

requirement from the side lot line. It is recommended that this be made a condition of approval of the minor variance application.

Shed No. 2 belongs to the owners of 124 Lorlei Drive to the north and is shown on the site plan as the closest to the road. The application lists it as 19.5 square metres in area. Accessory structures exceeding 15.0 square metres require a municipal building permit. The applicant does not own with structure and does not have the ability to move or remove the structure. Regardless, this is a non-compliance issue that the municipality is now aware of through this application and can require the owner(s) of 124 Lorlei Drive to bring the shed into compliance with the Township's Zoning By-law.

It is recommended that as a condition of approval of this application, that the Shed No. 1 owned by the applicant be removed or moved to correct the encroachment and bring it into compliance with the Zoning By-law.

15. **RECOMMENDATIONS**

That subject to any additional concerns or information raised at the Committee of Adjustment Hearing, the Committee approve the requested variance to Section 3.3.6 of the Zoning By-law to permit a maximum 6.70 metre building height for the proposed accessory building, as depicted in minor variance application A-2/25 for 130 Lorlei Drive, subject to the following conditions:

1. That the 8.91 square metre frame shed, owned by the applicant be moved to rectify the existing building encroachment and meet the minimum required 3.0 metre setback from the north lot line, or be removed from the property;
2. That the Township's Chief Building Official confirm in writing to the Secretary Treasurer of the Committee of Adjustment that the encroachment has been rectified and the shed complies with the Township's Zoning By-law or has been removed entirely.

Date:	April 23, 2025
Prepared by:	Anne McVean, County Planner
Reviewed by:	Bruce Howarth, MCIP, RPP Manager of Planning Services